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April 29, 2026

To: Interested Agencies

The following application has been filed with the Sonoma County Permit and Resource Management Department.

File Number: ADR26-0011
Applicant Name: Matt Jorgensen, Graton Station
Owner Name: George Melo
Site Address: 3120 Ross Rd., Graton
APN: 130-142-004
Zoning: LC, NONE

Project Description: Administrative Design Review for exterior improvements to a new cafe including new landscaping, signage, fencing, bicycle parking, and patio space located on a 0.41 acre parcel.

We are submitting the above application for your review and recommendation. Additional information is on file in this office.

Responses to referrals should include a combination of any or all of the following details:

- (1) Statement of any environmental concerns or uncertainties your agency may have with the project.
- (2) Comments you wish to make regarding the merits of the project.
- (3) Identification of any missing information or application submittals that will preclude you from providing conditions and mitigations for this project in the future.
- (4) Your proposed conditions of approval and/or mitigations for this project.

After reviewing this application, please respond to the planner with your *marked* response below:

- Conditions will be provided and no further information is necessary.
- Conditions will be provided and additional information is necessary.
- Comments and/or concerns.
- No comments or conditions.

Responsible agencies under CEQA are requested to indicate whether permits will be required for this project.

Your comments will be appreciated by May 13, 2026, and should be sent to the attention of:

ADR26-0011, Alisa Rossetti (Alisa.Rossetti@sonomacounty.gov). The Project Planner can also be reached at (707) 565-2605. **If no response is received by May 13, 2026, it will be assumed that no comments or conditions will be provided.**

Please send a copy of your comments to the applicant(s) or their representatives as indicated on the attached Planning Application.

- Sanitation
- Building Inspection
- Fire Prevention
- Grading and Storm Water
- Management Group
- Natural Resources
- SUSMP
- Dist. 5 Director and Commissioners
- Environmental Health
- Regional Parks Dept
- Trans Authority/RCPA
- Transit/BPAC
- Recology Sonoma Marin (Disposal)
- Regional Water QCB: North Coast
- Sonoma MOAG

Planning Application

PJR-001

Application Type(s):

- | | | | |
|--|--|---|---------------------------------------|
| <input type="checkbox"/> Admin Cert. Compliance | <input checked="" type="checkbox"/> Design Review Admin. | <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Ag. or Timber Preserve/Contract | <input type="checkbox"/> Design Review Full | <input type="checkbox"/> Voluntary Merger | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Conditional Cert. of Compliance | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Ordinance Interpretation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Cert. of Modification | <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Second Unit Permit | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Coastal Permit | <input type="checkbox"/> Major Subdivision | <input type="checkbox"/> Specific/Area Plan Amendment | _____ |
| <input type="checkbox"/> Zoning Permit for: _____ | | | |

File # 26TMP-001753

By placing my contact information (name, address, phone number, email address, etc.) on this application form and submitting it to Sonoma County PRMD, I understand and authorize PRMD to post this application to the internet for public information purposes, including my contact information.

PRINT CLEARLY					
APPLICANT			OWNER (IF OTHER THAN APPLICANT)		
Name <u>MATT JORGENSEN</u>			Name <u>George Melo</u>		
Mailing Address <u>3130 BRUSH ST</u>			Mailing Address <u>444 Michael Place</u>		
City <u>GRATON</u>		State <u>CA</u>	City <u>Sebastopol</u>		State <u>CA</u>
Zip <u>95444</u>		Zip <u>95472</u>			
Day Ph (<u>569</u>) <u>614 3361</u>		Email <u>matt@revillage.com</u>		Day Ph (<u>707</u>) <u>328-5802</u>	
Email <u>matt@revillage.com</u>		Email <u>meloGeorge8@gmail.com</u>			
Signature <u>[Signature]</u>		Date <u>2/14/26</u>		Signature <u>[Signature]</u>	
Date <u>2/14/26</u>		Date <u>2-14-26</u>			
Billing Responsible Party (At-Cost Only) <input checked="" type="checkbox"/> Applicant <input type="checkbox"/> Owner <input type="checkbox"/> Other: _____					
OTHER PERSONS TO RECEIVE CORRESPONDENCE					
Name/Title <u>Cathy Smith - Designer</u>			Name/Title <u>John Perry - Architect</u>		
Mailing Address _____			Mailing Address _____		
City _____		State _____	City _____		State _____
Zip _____		Zip _____			
Day Ph () _____		Email <u>Cathy@smithandable.com</u>		Day Ph () _____	
Email <u>Cathy@smithandable.com</u>		Email <u>john@finepointarchitecture.com</u>			
PROJECT INFORMATION					
Address(es) <u>3120 Ross Road</u>				City <u>Graton</u>	
Assessor's Parcel Number(s) <u>130-142-004 130-142-001</u>					
Project Description <u>new cafe in a limited commercial building</u>					
Acreage <u>18,000 sq ft</u>			Number of new lots proposed <u>0</u>		
Site Served by Public Water? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			Site Served by Public Sewer? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
TO BE COMPLETED BY PRMD STAFF					
Planning Area _____		Supervisorial District _____		<input type="checkbox"/> Critical Habitat <input type="checkbox"/> Urban Service	
Current Zoning _____		<input type="checkbox"/> NPDES <input type="checkbox"/> Williamson Act		Groundwater Availability <input type="checkbox"/> 1/2 <input type="checkbox"/> 3/4	
General Plan Land Use _____				Specific/Area Plan <input type="checkbox"/> EX	
Parcel Specific Policy _____				Subject to CEQA <input type="checkbox"/> YES	
Application resolve planning violation? <input type="checkbox"/> Yes <input type="checkbox"/> No			Violation? <input type="checkbox"/> Yes <input type="checkbox"/> No		File No. _____
Previous Files _____			Penalty application? <input type="checkbox"/> Yes <input type="checkbox"/> No		
Application accepted by _____			Date _____		
Approved by _____			Date _____		

PROPOSAL STATEMENT

Graton Station at 3120 & 3160 Ross Road

APN 130-142-004 & 130-142-001

1. Existing Conditions

The project site consists of approximately 18,000 square feet (0.6 acres) in the Limited Commercial (LC) zoning district in Graton, California. The property contains an existing one-story mixed-use limited commercial building totaling approximately 3,800 gross square feet.

The building will include

- New Graton Station cafe
- Existing retail/printing and mailing business (Melo Mail)

The site contains surface parking (26 spaces total), two ADA spaces, frontage parking along Ross Road, and existing drainage improvements. The property is adjacent to the Joe Rodota Trail in downtown Graton. No protected trees are proposed for removal.

2. Proposed Use and Improvements

The project proposes tenant improvements to use ~1860 sq ft of south 3120 Ross Road for a coffee shop with a full kitchen and dining area (Assembly and Business occupancies). The adjacent Melo Mail business in the north end of the building will remain in operation.

Site Improvements

Interior tenant improvements are noted in construction timing below.

No exterior building improvements.

Exterior site improvements include:

- Permeable flagstone patio (approximately 150–250 square feet)
- Native pollinator planting areas
- Circular herb garden feature with low stones

- Bicycle parking (10 spaces)
- 5-foot decorative wood and hog-wire fence
- Pedestrian pathway improvements
- Trash enclosure improvements
- Minor signage upgrades

All improvements are located within previously disturbed areas. No significant increase in impervious surface area is proposed.

Overall lot coverage remains substantially unchanged.

3. Planned Future Use (Conceptual)

The long-term vision includes phased refinement of community-serving commercial uses within the existing building footprint, including:

- Beer/wine service
- Small-scale events such as music and readings

Any future expansion beyond the current scope would require separate review and approvals.

OPERATIONS

Hours of Operation

Every day: 7:00 AM – 9:00 PM

Number of Employees

- 6–10 total employees
- 3–5 employees per peak shift

Estimated Daily Visitors

- Weekday average: 50–100 patrons
- Weekend peak: 75–125 patrons

Operations are consistent with approved occupant loads and parking availability.

STORAGE

Indoor Storage

- Kitchen dry and refrigerated storage

Outdoor Storage

- Enclosed trash area

TRAFFIC

Parking

A total of 26 on-site spaces are provided, exceeding calculated requirements.

Estimated Daily Trips

Employees

- 12–20 employee vehicle trips per day

Public

- Weekday: approximately 50 trips
- Weekend: approximately 75 trips

Note we expect most of our patrons to be Graton locals who can walk or bike to the cafe.

Delivery

- 1-2 small delivery vehicles per day
- No heavy truck operations

The site benefits from pedestrian and bicycle access due to its proximity to downtown Graton and the Joe Rodota Trail.

UTILITIES

Gas & Electric

- PG&E

Sewage Disposal

- Existing municipal sewer connection
- Grease interceptor installed per code

Water Supply

- Existing municipal water service
- Low-flow fixtures compliant with current standards

Solid Waste

- Enclosed trash and recycling area
- Regular service by licensed hauler

STORMWATER MANAGEMENT

- No substantial increase in impervious surface area
- New hardscape areas are permeable
- Existing drainage infrastructure remains in place
- No modification to existing runoff patterns
- No flood zone impacts

Stormwater conditions will remain substantially unchanged.

CONSTRUCTION METHODS AND TIMING

Type of Construction

Interior tenant improvements including:

- New cafe service bar and shelving
- 2-hour fire wall installation

- New window on south end of building
- Commercial kitchen installation
- Plumbing, mechanical, and electrical upgrades

Exterior work includes minor hardscape, fencing, signage, and landscaping.

Grading

- Minimal grading required
- No substantial cuts or fills
- No off-site spoil disposal anticipated

Construction Methods

- Conventional light wood framing
- No blasting
- No pile driving
- No deep foundation work

Staging

- On-site staging within existing parking area

Construction Duration

- Estimated 4–6 months

Construction Hours

- Weekdays 7:00 AM – 6:00 PM
- No nighttime construction proposed

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ARCH	ARCHITECTURAL
APN	ASSESSOR PARCEL NUMBER
BLDG	BUILDING
BLKG	BLOCKING
CAB	CABINET
CL	CENTERLINE
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
COMP	COMPRESSOR
D	DRYER
DBL	DOUBLE
DEPT	DEPARTMENT
DF	DOUGLAS FIR
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DOWNSPOUT
DW	DISHWASHER
DWG	DRAWING
E	EAST
EA	EACH
ELEV	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
EQUIP	EQUIPMENT
(E)	EXISTING
EXT	EXTERIOR
EW	EACH WAY
FAR	FLOOR AREA RATIO
FAU	FORCED AIR UNIT
FF	FINISH FLOOR
FRPLC	FIREPLACE
FJ	FINGER JOINT
FL	FLOORING
FT	FEET
FOF	FACE OF FINISH
FOS	FACE OF STUD
FURN	FURNACE
GALV	GALVANIZED
GLULAM	GLUED LAMINATED
GWB	GYPSPUM WALL BOARD
HB	HOSE BIB
HH	HEAD HEIGHT
HOR	HORIZONTAL
HP	HEAT PUMP
HWD	HARDWOOD
IN	INCHES
INT	INTERIOR
LAV	LAVATORY
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MANUF	MANUFACTURER
MICRO	MICROWAVE
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
N	NORTH
(N)	NEW
NIC	NOT IN CONTRACT
OC	ON CENTER
O/	OVER
PERF	PERFORATED
PL	PROPERTY LINE
PLY	PLYWOOD
PREFAB	PREFABRICATED
PT	PRESSURE TREATED
R	REFRIGERATOR OR RISER
REBAR	REINFORCING BAR
REF	REFERENCE, REFRIGERATOR
REQ	REQUIRED
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RWD	REDWOOD
S	SOUTH
SH	SILL HEIGHT
SIM	SIMILAR
SPECS	SPECIFICATIONS
SQ FT, SF	SQUARE FOOT
SSD	SEE STRUCTURAL DRAWINGS
SST	STAINLESS STEEL
STD	STANDARD
ST	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SURF	SURFACE
T&B	TOP & BOTTOM
T&G	TONGUE & GROOVE
TBD	TO BE DETERMINED
TOC	TOP OF CURB
TOW	TOP OF WALL
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VERT	VERTICAL
VIF	VERIFY IN FIELD
W	WASHING MACHINE, WIDTH, WEST
W/	WITH
W/O	WITHOUT
WD	WOOD
WH	WATER HEATER
WP	WATERPROOF

SYMBOLS LEGEND

	1		WALL TYPE TAG
	ELEVATION TAG		DOOR TAG
	SECTION TAG		WINDOW TAG
	DETAIL TAG		KEYNOTE TAG
			DETAIL REFERENCE
			DETAIL TAG

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:
 - 2025 CA ADMINISTRATIVE CODE TITLE 24 PART 1
 - 2025 CA BUILDING CODE TITLE 24 PART 2
 - 2025 CA ELECTRICAL CODE TITLE 24 PART 3
 - 2025 CA MECHANICAL CODE TITLE 24 PART 4
 - 2025 CA PLUMBING CODE TITLE 24 PART 5
 - 2025 CA ENERGY CODE TITLE 24 PART 6
 - 2025 CA FIRE CODE TITLE 24 PART 9
 - 2025 CA GREEN BUILDING PER (CALGREEN) TITLE 24 PART 11
 - ALL APPLICABLE LOCAL AMENDMENTS AND ORDINANCES
- COORDINATE ALL WORK WITH STRUCTURAL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND CIVIL DRAWINGS. RESOLVE ALL CONFLICTS PRIOR TO CONSTRUCTION.
- IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL (PCB), LEAD-BASED PAINT, OR ANY OTHER HAZARDOUS MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS OR PREVIOUSLY IDENTIFIED, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THAT AREA AND NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT IN WRITING
- MANUFACTURER'S DESIGNATIONS ARE NOTED TO INDICATE PATTERN, COLOR, PERFORMANCE, AND QUALITY STANDARDS. APPROVED EQUAL PRODUCTS MAY BE SUBSTITUTED WITH PRIOR WRITTEN APPROVAL FROM ARCHITECT
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND IN THE EVENT OF DISCREPANCY, REPORTING SUCH DISCREPANCY TO THE ARCHITECT BEFORE COMMENCING WORK
- CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS GOVERN. CONTRACTOR REQUIRING DIMENSIONS NOT NOTED SHALL CONTACT THE ARCHITECT FOR SUCH INFORMATION PRIOR TO PROCEEDING WITH THE WORK RELATED TO THOSE DIMENSIONS
- ALL PLAN DIMENSIONS INDICATED ARE TO COLUMN CENTERLINE, TO FACE OF CONCRETE, TO FINISHED FACE OF GYP. BD., OR TO FACE OF MASONRY, UON
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS, AND/OR OTHER SUPPORTS FOR ALL FIXTURES, EQUIPMENT, CASEWORK, FURNISHINGS, MECHANICAL EQUIPMENT, ELECTRICAL DEVICES, AND ALL OTHER ITEMS REQUIRING SAME
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL AND EQUIPMENT. ALL CUTTING AND PATCHING SHALL BE PERFORMED IN A WORKMANLIKE MANNER TO MATCH EXISTING CONDITIONS
- CONTRACTOR SHALL TAKE SUITABLE MEASURES TO PREVENT INTERACTION BETWEEN DISSIMILAR METALS. PROVIDE ISOLATION AND DIELECTRIC CONNECTIONS WHERE REQUIRED
- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE
- DETAILS ARE KEYS ON PLANS OR ELEVATIONS ONCE, WHEN THEY FIRST OCCUR, AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT UON
- CONSTRUCTION AREA SHALL BE BROOM CLEANED DAILY & MATERIALS STACKED OR PILED IN AN ORDERLY FASHION OUT OF TRAFFIC PATTERNS. JOB SITE WASTE MANAGEMENT SHALL COMPLY W/ REQ'S PER CALGREEN
- AT COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL MARKS, STAINS, FINGERPRINTS, DUST, DIRT, SPLATTERED PAINT, AND BLEMISHES RESULTING FROM THE VARIOUS OPERATIONS THROUGHOUT THE PROJECT
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE THAT OCCURS DURING CONSTRUCTION CAUSED BY CONTRACTOR OR SUBCONTRACTORS THAT ARE WITHIN OR OUTSIDE THE SCOPE OF WORK
- WHERE ADJOINING ROOMS HAVE DISSIMILAR FLOORING, MAKE CHANGE UNDER CENTERLINE OF DOOR OR AT DOOR THRESHOLD, UNLESS OTHERWISE NOTED
- ALL PIPE, CONDUIT, AND DUCT PENETRATIONS THROUGH FLOORS AND FIRE-RATED WALL AND CEILING ASSEMBLIES SHALL BE SEALED WITH APPROVED FIRESTOPPING SYSTEM TO FULL DEPTH OF SLAB OR THICKNESS OF WALL/CEILING PER CBC 714 AND TESTED/LISTED ASSEMBLIES
- ENTERING INTO AN AGREEMENT WITH THE OWNER INDICATES THAT THE CONTRACTOR(S) HAS VISITED THE SITE, FAMILIARIZED THEMSELVES WITH THE EXISTING CONDITIONS, AND HAS MADE THEMSELVES AWARE OF THE REQUIREMENTS FOUND WITHIN THE CONTRACT DOCUMENTS
- CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL SUB-CONTRACTORS, INCLUDING THOSE UNDER SEPARATE CONTRACT WITH THE OWNER
- CONTRACTOR SHALL SUBMIT CONFIRMATION WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT FOR ANY LONG LEAD TIME ORDER ITEMS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DELAYS THAT MAY AFFECT PROJECT SCHEDULE
- CONTRACTOR SHALL PROTECT ALL EXCAVATION AND CONSTRUCTION FROM RAIN OR WATER DAMAGE. PROVIDE TEMPORARY DRAINAGE, PUMPING, AND WEATHER PROTECTION AS REQUIRED
- OPERATION AND MAINTENANCE MANUALS SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER ADDRESSING 2022 CALGREEN SECTION 5.410.1 ITEMS 1 THROUGH 10 FOR COMMERCIAL BUILDINGS
- ALL WORK SHALL COMPLY WITH APPLICABLE ACCESSIBILITY REQUIREMENTS PER CBC CHAPTER 11B. CONTRACTOR SHALL VERIFY ALL ACCESSIBILITY CLEARANCES AND DIMENSIONS IN FIELD
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS. SCHEDULE INSPECTIONS WITH SUFFICIENT NOTICE TO AVOID DELAYS. POST ALL REQUIRED PERMITS AND INSPECTION CARDS AT JOB SITE
- ALL WORK SHALL BE PERFORMED BY PROPERLY LICENSED CONTRACTORS IN ACCORDANCE WITH CALIFORNIA BUSINESS AND PROFESSIONS CODE. PROVIDE PROOF OF LICENSING AND INSURANCE UPON REQUEST
- CONTRACTOR SHALL MAINTAIN REQUIRED INSURANCE COVERAGE THROUGHOUT CONSTRUCTION INCLUDING GENERAL LIABILITY, WORKERS COMPENSATION, AND BUILDERS RISK AS SPECIFIED IN CONTRACT DOCUMENTS
- IMPLEMENT CONSTRUCTION WASTE MANAGEMENT PLAN PER CALGREEN SECTION 5.408. RECYCLE AND/OR SALVAGE MINIMUM 65% OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS



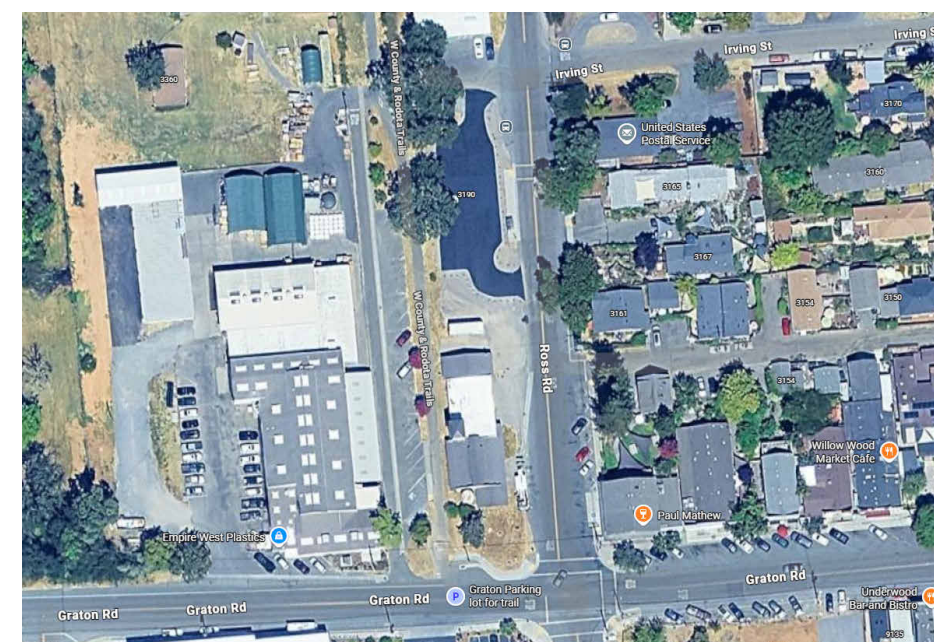
GENERAL MECHANICAL NOTES

- PROVIDE COMBUSTION AIR OPENINGS FROM OUTSIDE FOR WATE HEATERS PER CPC 506 (FURNACE PER CMC 701)
- PROVIDE APPROVED SEISMIC STRAPS FOR WATER HEATER (OR WATER STORAGE TANKS) TO WALL PER CPC 507.2
- TERMINATE GAS VENTS PER CMC 802.5.4, CPC 906
- PROVIDE 100 SQ IN NET OPENING FOR DRYER MAKE-UP AIR PER CMC 504.4.1
- TERMINATE ALL ENVIRONMENTAL AIR EXHAUST DUCTS (KITCHEN, RANGE HOOD, BATHROOM FAN, DRYER) MIN 3 FT FROM ANY OPENING & 10 FT FROM PROPERTY LINE PER CMC 502.2.1. PROVIDE BACK DRAFT DAMPER AS REQUIRED PER CMC 504.1.1. EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY
- PER CMC TABLE 403.7, PROVIDE EXHAUST FAN 20 CFM FOR CONTINUOUS OPERATION, 50 CFM OTHERWISE. COMMERCIAL KITCHEN EXHAUST VENTILATION SHALL COMPLY WITH CMC 507 AND IMC 507
- PROVIDE AIR FOR COMBUSTION, VENTILATION AND DILUTION OF FLUE GASES PER CMC 701. DESIGN SYSTEMS TO PREVENT PRESSURE DIFFERENTIAL BETWEEN APPLIANCES AND MAKEUP AIR. PROVIDE INDOOR AND/OR OUTDOOR AIR AS REQUIRED PER CMC 701.4-701.9. COORDINATE LOCATION AND ROUTING OF REQUIRED EQUIPMENT/DUCTING WITH OWNER AND DESIGNER
- ALL HVAC UNITS, DUCTWORK, & OTHER MECHANICAL EQUIPMENT INSTALLED ON ROOF SHALL BE SECURELY ANCHORED & SCREENED FROM PUBLIC VIEW
- MECHANICAL SYSTEMS SHALL COMPLY WITH INDOOR AIR QUALITY REQUIREMENTS OF CALGREEN, INCLUDING MERV 13 FILTERS & VENTILATION RATE PROCEDURE PER CMC 402 / ASHRAE 62.1
- COMMERCIAL KITCHEN EXHAUST SYSTEMS SHALL BE PROVIDED WITH FIRE SUPPRESSION SYSTEMS PER CMC 507.14 & COMPLY WITH NFPA 96. PROVIDE GREASE DUCT ENCLOSURES PER CMC 506.3.13
- PROVIDE CONDENSATE DRAIN LINES WITH TRAPS & DISCHARGE TO APPROVED LOCATION PER CPC 314.1. AUXILIARY DRAIN PANS REQUIRED WHERE EQUIPMENT IS ABOVE OCCUPIED SPACES PER CMC 307
- ALL DUCTWORK PASSING THROUGH FIRE-RATED ASSEMBLIES SHALL BE PROVIDED WITH FIRE/SMOKE DAMPERS AS REQUIRED PER CMC 607 & CBC 717
- NATURAL GAS PIPING SHALL BE DESIGNED, INSTALLED, AND TESTED PER CPC CHAPTER 12. PROVIDE EARTHQUAKE VALVES (SEISMIC GAS SHUTOFF DEVICES) WHERE REQUIRED BY LOCAL JURISDICTION
- ALL WORK SHALL COMPLY WITH CALGREEN MANDATORY MEASURES INCLUDING SECTION 5.508 W/ LOCAL AMENDMENTS

FIRE SAFETY CODE NOTES

- PER CBC TABLE 602, PROVIDE FIRE-RESISTANCE-RATED CONSTRUCTION AS REQ'D BY OCCUPANCY CLASS, TYPE OF CONSTRUCTION, & LOCATION ON PROPERTY. STRUCTURES WITHIN 5 FEET OF PROPERTY LINE SHALL COMPLY WITH CBC 705 FOR EXTERIOR WALL FIRE-RESISTANCE RATINGS
- PROVIDE ILLUMINATED EXIT SIGNS AT ALL REQUIRED EXITS PER CBC 1013. EXIT PATH MARKING SHALL COMPLY WITH CBC 1025 WHERE REQUIRED
- PROVIDE EMERGENCY & STANDBY POWER SYSTEMS WHERE REQUIRED PER CBC 2702 & 2703. EMERGENCY LIGHTING SHALL BE PROVIDED PER CBC 1008.3
- ALL PENETRATIONS THROUGH FIRE-RESISTANCE-RATED ASSEMBLIES SHALL BE PROTECTED PER CBC 714. FIRE-RATED DOORS AND OPENING PROTECTIVES SHALL COMPLY WITH CBC 716
- PROVIDE FIRE EXTINGUISHERS PER CBC 906 AND CFC CHAPTER 9. LOCATION, TYPE, & DISTRIBUTION SHALL BE APPROVED BY THE FIRE CODE OFFICIAL. MAX TRAVEL DISTANCE TO EXTINGUISHER SHALL NOT EXCEED 75 FEET PER CFC 906.3
- FIRE ALARM SYSTEM SHALL INCLUDE SMOKE DETECTORS, MANUAL PULL STATIONS, AUDIBLE/VISUAL NOTIFICATION APPLIANCES, & MONITORING AS REQ'D BY CBC 907 AND LOCAL FIRE AUTHORITY
- INTERIOR FINISH MATERIALS SHALL COMPLY WITH FLAME SPREAD AND SMOKE DEVELOPMENT REQUIREMENTS PER CBC 803 AND TABLE 803.13

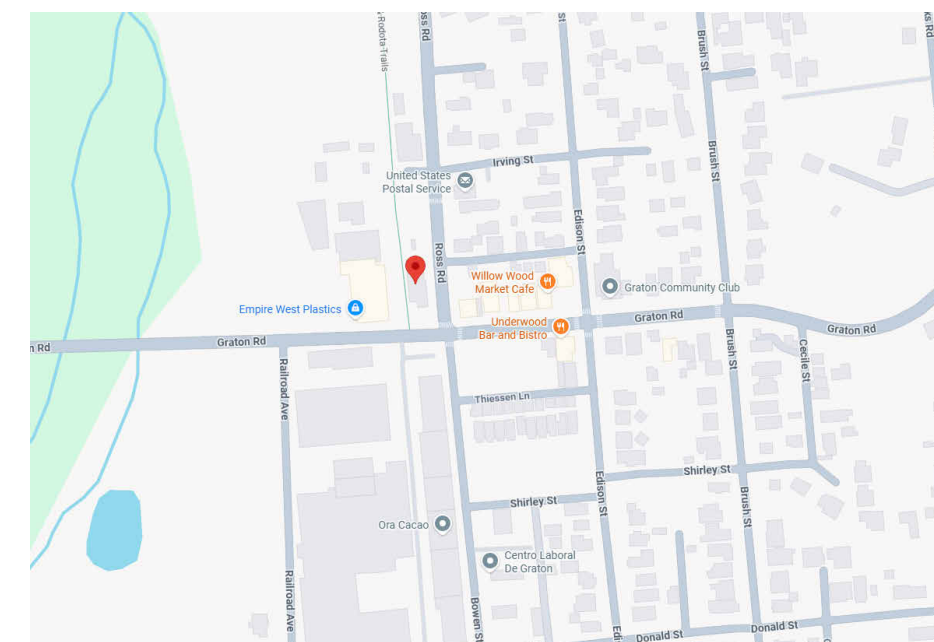
VICINITY MAP



GENERAL PLUMBING NOTES

- ALL PLUMBING WORK SHALL COMPLY WITH THE 2022 CALIFORNIA PLUMBING CODE (CPC) AND LOCAL AMENDMENTS
- WATER CLOSETS SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM PER CPC 422.1 AND CALGREEN SECTION 5.303.1.1
- PROVIDE MIN 30" CLR WIDTH & 24" CLR IN FRONT OF FIXTURES PER CPC 402.5
- PRESSURE ABSORBING DEVICE (WATER HAMMER ARRESTOR) REQUIRED ON WATER LINE CLOSE TO QUICK-ACTING VALVES PER CPC 609.10
- MAXIMUM FLOW RATES PER CALGREEN:
 - A. LAVATORY FAUCETS: 0.5 GPM @ 60 PSI (CALGREEN 5.303.1.4.2)
 - B. KITCHEN FAUCETS: 1.8 GPM @ 60 PSI (CALGREEN 5.303.1.4.4)
 - C. WATER CLOSETS: 1.28 GALLONS PER FLUSH MAX (CALGREEN 5.303.1.1)
 - D. URINALS: 0.5 GALLONS PER FLUSH MAX (CALGREEN 5.303.1.2)
- PROVIDE APPROVED SEISMIC STRAPS FOR WATER HEATER (OR WATER STORAGE TANKS) TO WALL PER CPC 507.2
- PROVIDE BACKFLOW PREVENTION DEVICES AS REQ'D BY CPC 603
- ALL PLUMBING PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES SHALL BE PROTECTED WITH APPROVED FIRESTOPPING SYSTEMS PER CBC 714 & CPC 314.2
- PROVIDE ADEQUATE VENTING FOR ALL PLUMBING FIXTURES AND DRAINS PER CPC CHAPTER 9. TERMINATE VENT STACKS MINIMUM 12" ABOVE ROOF AND 10 FEET FROM VERTICAL SURFACES PER CPC 906.1 AND 906.2
- HOT WATER SUPPLY TEMPERATURE SHALL NOT EXCEED 120°F AT PUBLIC LAVATORIES PER CPC 607.1. PROVIDE THERMOSTATIC MIXING VALVES OR TEMPERING VALVES AS REQUIRED
- PROVIDE GREASE INTERCEPTORS FOR KITCHEN FIXTURES PER CPC 1014

AREA MAP



PROJECT DESCRIPTION

TENANT IMPROVEMENTS FOR THE CONVERSION OF "MELO MAIL" SPACE INTO A COFFEE SHOP WITH FULL KITCHEN. DIVIDES BUILDING INTO TWO SEPARATE FIRE AREAS. EMPLOYEE LOCKER AREA ADDED TO 3160 ROSS RD.

PROJECT INFO

OWNER: MATT JORGENSEN
3130 BRUSH STREET
GRATON, CA 95444

PROJECT CONTACT: FINE POINT ARCHITECTURE & PLANNING INC
485 ORMSBY LANE
PETALUMA, CA 94954
707-531-0499

APN: 130-142-004 & 130-142-001

AUTHORITY: SONOMA COUNTY
APPLICABLE CODE: 2025 CALIFORNIA BUILDING CODE

LOT SIZE: 18,000 SQ FT
YEAR BUILT: NEW CONSTRUCTION
ZONING DISTRICT: LC - LIMITED COMMERCIAL
FIRE HAZARD: MODERATE
FEMA FLOOD ZONE: ZONE X - LOW

EXISTING OCCUPANCY: B (BUSINESS) W/ HISTORICAL A-2
PROPOSED OCCUPANCY: B (BUSINESS) & A-2 (ASSEMBLY)
CONSTRUCTION TYPE: V-B
SRINKLER STATUS
EXISTING: UNSPRINKLED
PROPOSED: UNSPRINKLED (THROUGHOUT)

NUMBER OF STORIES
EXISTING: (1)
PROPOSED: (1)

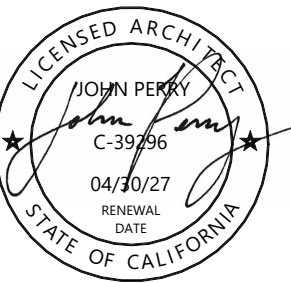
NUMBER OF UNITS
EXISTING: (1) UNDIVIDED
MIXED-USE COMMERCIAL
PROPOSED: (2) DIVIDED
MIXED-USE COMMERCIAL

SHEET INDEX

A-001	TITLE SHEET & PROJECT INFO
A-002	EXISTING & PROPOSED SITE PLANS
A-003	PROPOSED AREAS & EGRESS
A-100	EXISTING FLOOR PLAN
A-101	PROPOSED FLOOR PLAN
A-201	PROPOSED ELEVATIONS & SIGNAGE
L1	CONCEPTUAL LANDSCAPE PLAN
Total sheets: 7	

FINE POINT ARCHITECTURE

PETALUMA, CALIFORNIA
WWW.FINEPOINTARCHITECTURE.COM



GRATON STATION

3120 ROSS ROAD
GRATON, CALIFORNIA 95444

Revised:		
#	DESCRIPTION	DATE

Sheet Name:

TITLE SHEET & PROJECT INFO

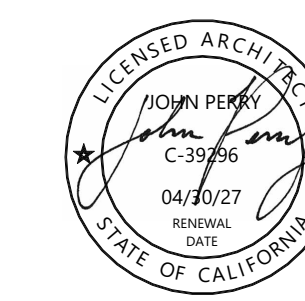
Owner: **MATT JORGENSEN**

Date Issued: **02-06-2026**

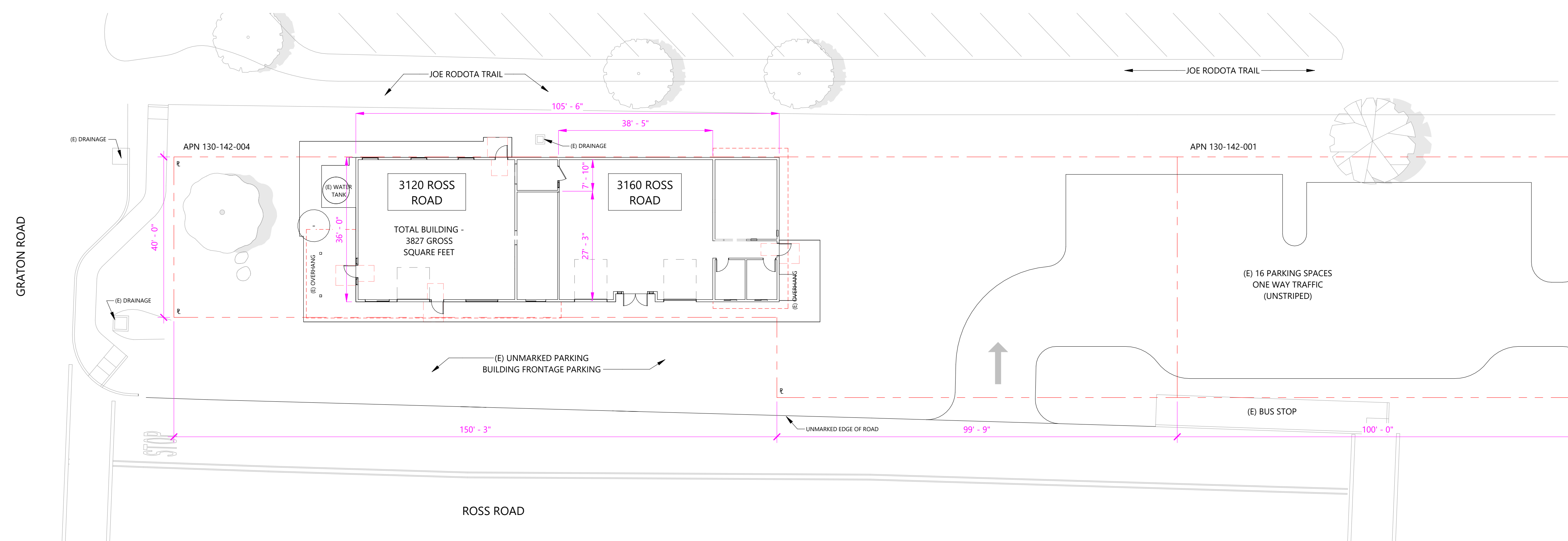
Project Number: **2521**

Sheet Number

A-001

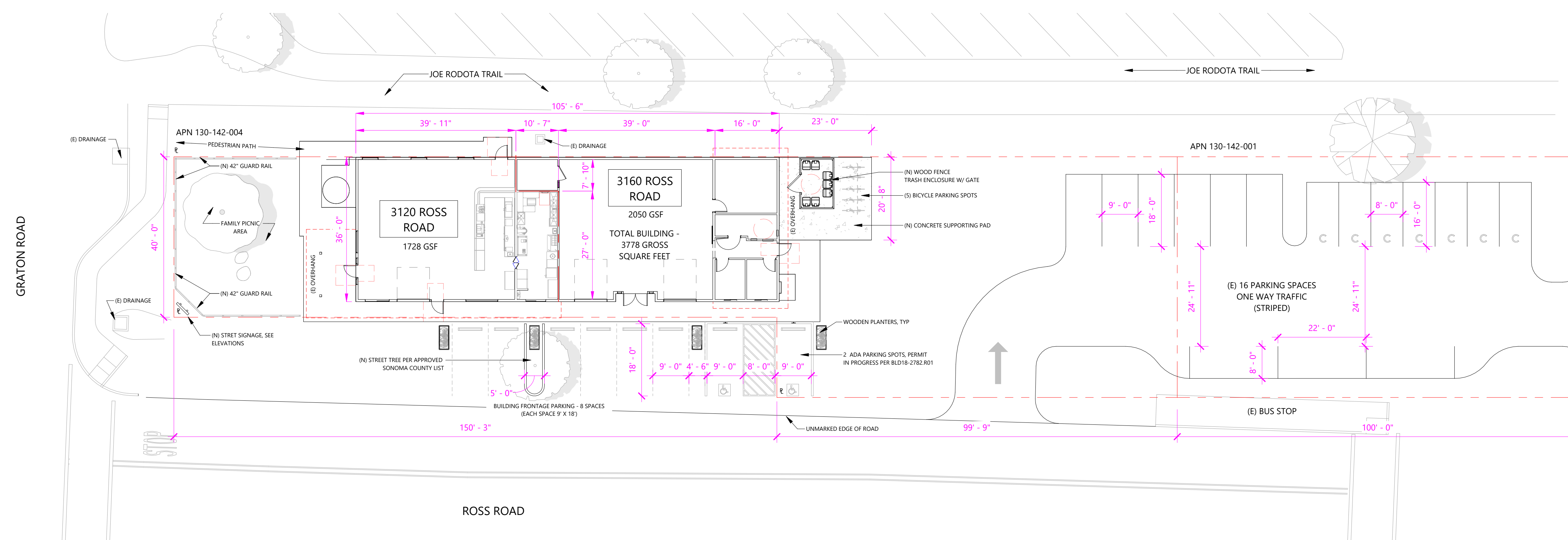


GRATON STATION
3120 ROSS ROAD
GRATON, CALIFORNIA 95444



1 EXISTING SITE PLAN
1/16" = 1'-0"

AS APPROVED WITH REVISIONS PER PERMIT #BLD18-2782



2 PROPOSED SITE PLAN
1/16" = 1'-0"

PROPOSED BUILDING USE & PARKING COUNT

EXISTING USE: MELO MAIL 3,778 GSF (UNSPRINKLED)
PROPOSED USE: MIXED-USE BUILDING - SEE BREAKDOWN BELOW

USE SEPARATIONS W/ PARKING CALC PER SONOMA COUNTY CODE SECTION 26-86-010(G)

3120 ROSS RD
RESTAURANT USE - CLASS A-2 OCCUPANCY - 1728 GSF
GRATON STATION - COFFEE SHOP WITH FULL KITCHEN & DINING AREA
DINING AREA: 105 SF + 630 SF = 735 SF
REQUIREMENT: 1 SPACE PER 60 SQ FT OF DINING AREA
CALCULATION: 735 SF ÷ 60 = 12.25 LESS 20% DISCOUNT → 9.8 → 10 SPACES

3160 ROSS RD
RETAIL USE - CLASS B OCCUPANCY - 2050 GSF
MELO MAIL - PRINTING, MAILING, POSTAGE METER SALES, & RETAIL SUPPLIES
RETAIL AREA: 1,494 SF
REQUIREMENT: 1 SPACE PER 200 SQ FT
CALCULATION: 1,494 SF ÷ 200 = 7.47 → 8 SPACES

PARKING PROVIDED - 26 SPACES - 10 ADDITIONAL SPACES OVER REQUIREMENT - ALL PARKING PROVIDED SHALL BE SPLIT EVENLY BETWEEN 3120 ROSS & 3160 ROSS RD

SEE SHEET A-003 FOR OCCUPANCY GROUP USE AREA BREAKDOWN

#	DESCRIPTION	DATE

Sheet Name:

EXISTING &
PROPOSED SITE
PLANS

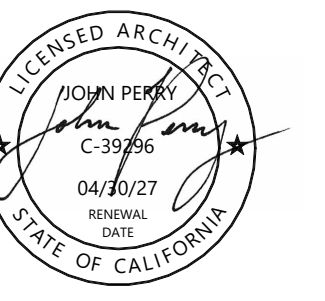
Owner: **MATT JORGENSEN**

Date Issued: **02-06-2026**

Project Number: **2521**

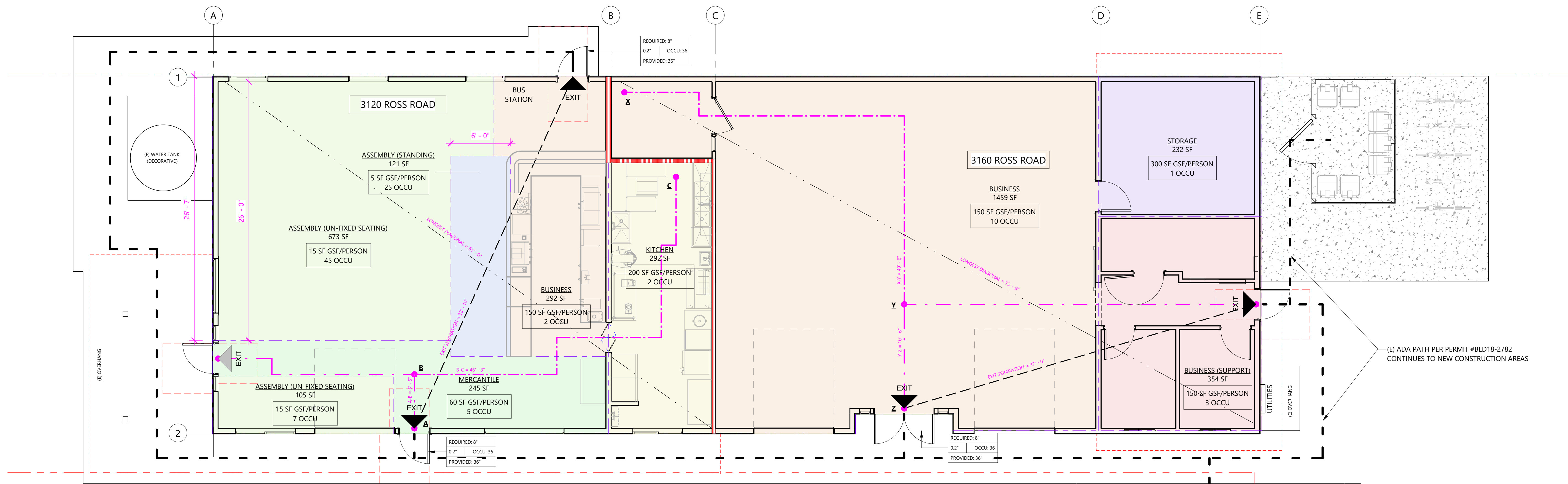
Sheet Number

A-002

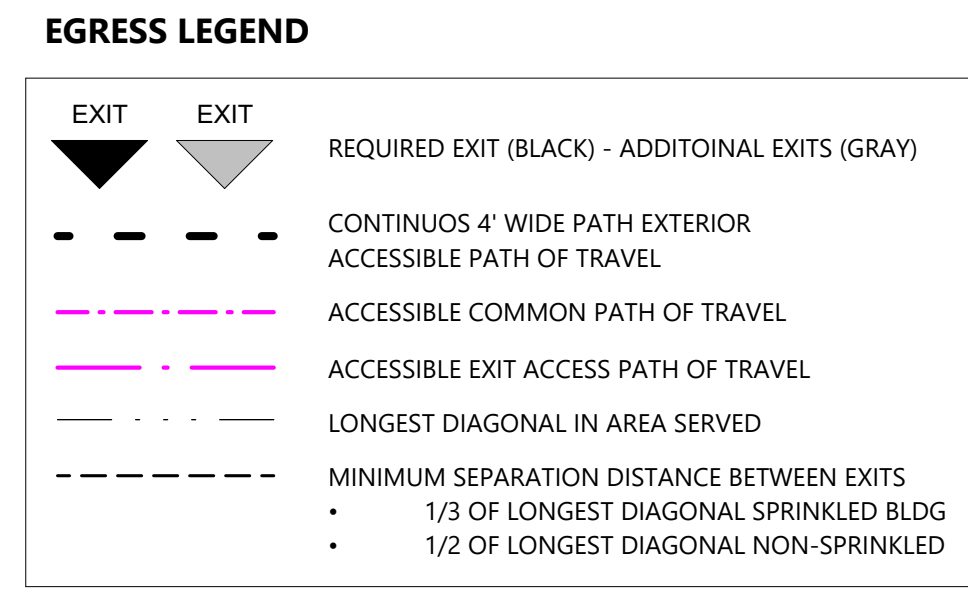


GRATON STATION

3120 ROSS ROAD
GRATON, CALIFORNIA 95444



(E) ADA PATH PER PERMIT #BLD18-2782 CONTINUES TO NEW CONSTRUCTION AREAS



1 FIRST FLOOR AREAS & EGRESS PLAN
3/16" = 1'-0"

FIRE AREA 1 - OCCUPANT LOAD CALCULATIONS

AREA TYPE	GSF	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY (STANDING)	121 SF	5 SF	25
ASSEMBLY (UN-FIXED SEATING)	673 SF	15 SF	45
ASSEMBLY (UN-FIXED SEATING)	105 SF	15 SF	7
BUSINESS	292 SF	150 SF	2
KITCHEN	292 SF	200 SF	2
MERCANTILE	245 SF	60 SF	5
TOTAL	1728 SF		86

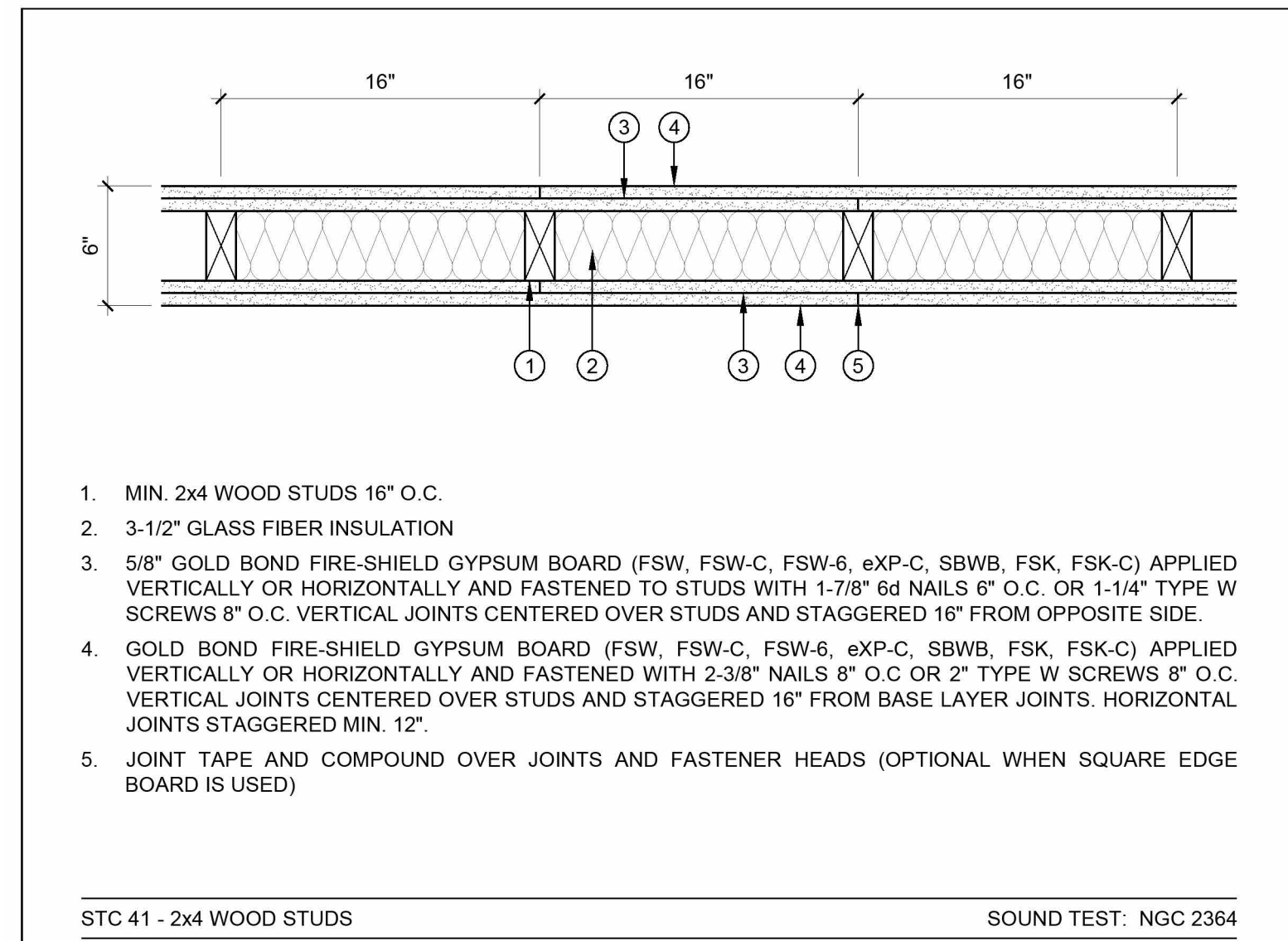
FIRE AREA 2 - OCCUPANT LOAD CALCULATIONS

AREA TYPE	GSF	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
BUSINESS	1459 SF	150 SF	10
BUSINESS (SUPPORT)	354 SF	150 SF	3
STORAGE	232 SF	300 SF	1
TOTAL	2046 SF		14

LONGEST PATH - 3120 ROSS ROAD		LONGEST PATH - 3130 ROSS ROAD	
SEGMENT	LENGTH	SEGMENT	LENGTH
A-B	5' - 5"	X-Y	49' - 6"
B-C	46' - 3"	Y-Z	10' - 6"
	51' - 8"		60' - 0"

2-HR FIRE WALL - PENETRATION KEYNOTES - UL DESIGN NO. U301

- F-1 - PROVIDE 2-HOUR FIRE WALL PER UL DESIGN NO. U301; MAINTAIN FULL FIRE-RESISTANCE RATING FOR ALL PENETRATIONS
- F-2 - ALL PENETRATIONS SHALL BE PROTECTED WITH UL-LISTED FIRESTOP SYSTEMS INSTALLED PER UL DESIGN AND MANUFACTURER'S INSTRUCTIONS; INSPECTIONS OF FIRESTOPPING SHALL OCCUR PRIOR TO CONCEALMENT
- F-3 - ELECTRICAL BOXES: 16 SQ. IN. MAX; BOXES ON OPPOSITE SIDES OF WALL TO BE OFFSET 24" MIN; GYPSUM BOARD CUT TIGHT; BOXES WRAPPED WITH 5/8" TYPE X GYPSUM OR PROVIDED WITH UL-LISTED FIRE PUTTY PADS; PACK CAVITIES WITH MINERAL WOOL OR APPROVED FIRESTOP MATERIAL
- F-4 - CABLES AND CONDUIT: SEAL ALL PENETRATIONS WITH UL-LISTED FIRE-RATED SEALANT
- F-5 - HVAC DUCTS: PROVIDE 2-HOUR FIRE DAMPERS, WHERE DUCT PENETRATION OCCURS; SEAL ANNULAR SPACE WITH UL-LISTED FIRESTOP SYSTEM
- F-6 - PLUMBING PENETRATIONS: METAL PIPING: UL-LISTED FIRESTOP SYSTEM OR INTUMESCENT WRAP; PLASTIC PIPING: UL-LISTED INTUMESCENT FIRE COLLAR
- F-7 - PROHIBITED: NO RECESSED LIGHT FIXTURES OR RECESSED CABINETS IN FIRE WALL
- F-8 - UNSEALED OR NON-COMPLIANT PENETRATIONS SHALL VOID THE 2-HOUR FIRE-RESISTANCE RATING AND ARE CAUSE FOR REJECTION
- F-9 - FIRE SEPARATION BARRIER SHALL EXTEND TO UNDERSIDE OF FLOOR/DECK ABOVE AND BE TIGHT TO STRUCTURE. PROVIDE APPROVED FIRESTOPPING AT WALL-TO-DECK INTERFACE AND RIM JOIST, AND FIRESTOP ALL PENETRATIONS TO MAINTAIN REQUIRED FIRE-RESISTANCE RATING



DATE: 07/01/2024	UL DESIGN: U301	National Gypsum
SCALE: 1-1/2"=1'-0"	LOADBEARING WOOD STUD PARTITION - 2 HOUR	© 2024 National Gypsum Services Company

FLOOR PLAN LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- NEW WALL (TYPE IA TYP. SEE 1/A6.1)
- NEW 2-HOUR FIRE RATED
- LOWER CEILING IN THIS AREA (MIN. 7' - 0")
- COMMON PATH OF TRAVEL
- ADA PATH OF TRAVEL
- NEW SEWER LINE, TBD
- OUTDOOR STEP LIGHT
- HVAC VENT; CEILING; FLOOR; SOFFIT/WALL
- CO2 DETECTOR, SMOKE DETECTOR, COMBO SMOKE / CO2 HARDWIRED PER CODE
- EGRESS WINDOW OPENING. SEE WINDOW SCHEDULE
- LIGHT/FAN COMBO; MECH VENT PER CMC 402.3
- ELEVATION CHANGE, 2" TYP

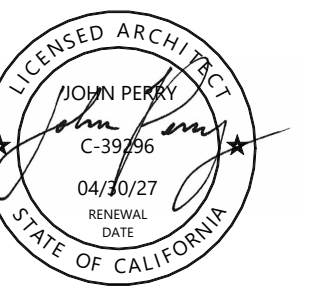
SHEET NOTES:

- REFER TO SHEET A-501 FOR DOORS & WINDOWS SCHEDULES
- REFER TO SHEET E-101 FOR ELECTRICAL & REFLECTED CEILING PLANS, TYP
- REFER TO SHEET A-001 FOR GENERAL INFORMATION & TYPICAL ARCHITECTURAL NOTES

#	DESCRIPTION	DATE

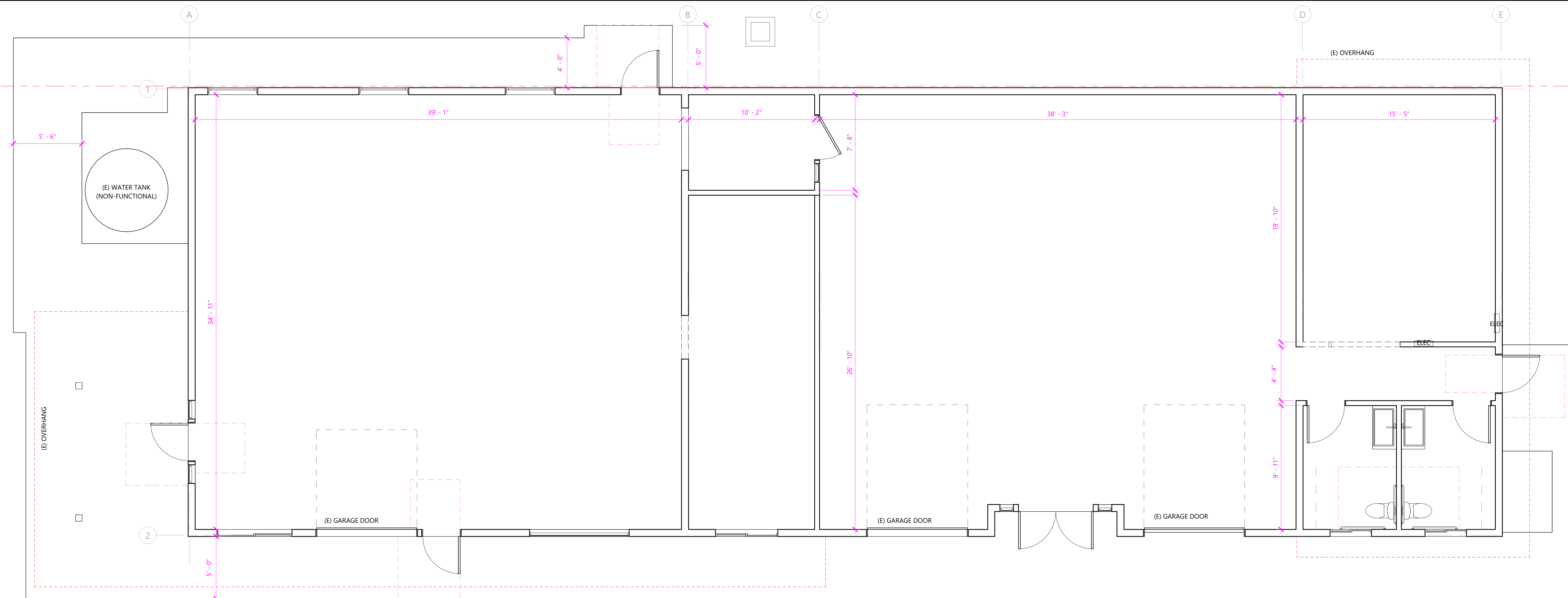
PROPOSED AREAS & EGRESS

Owner: **MATT JORGENSEN**
Date Issued: **02-06-2026**
Project Number: **2521**
Sheet Number: **A-003**

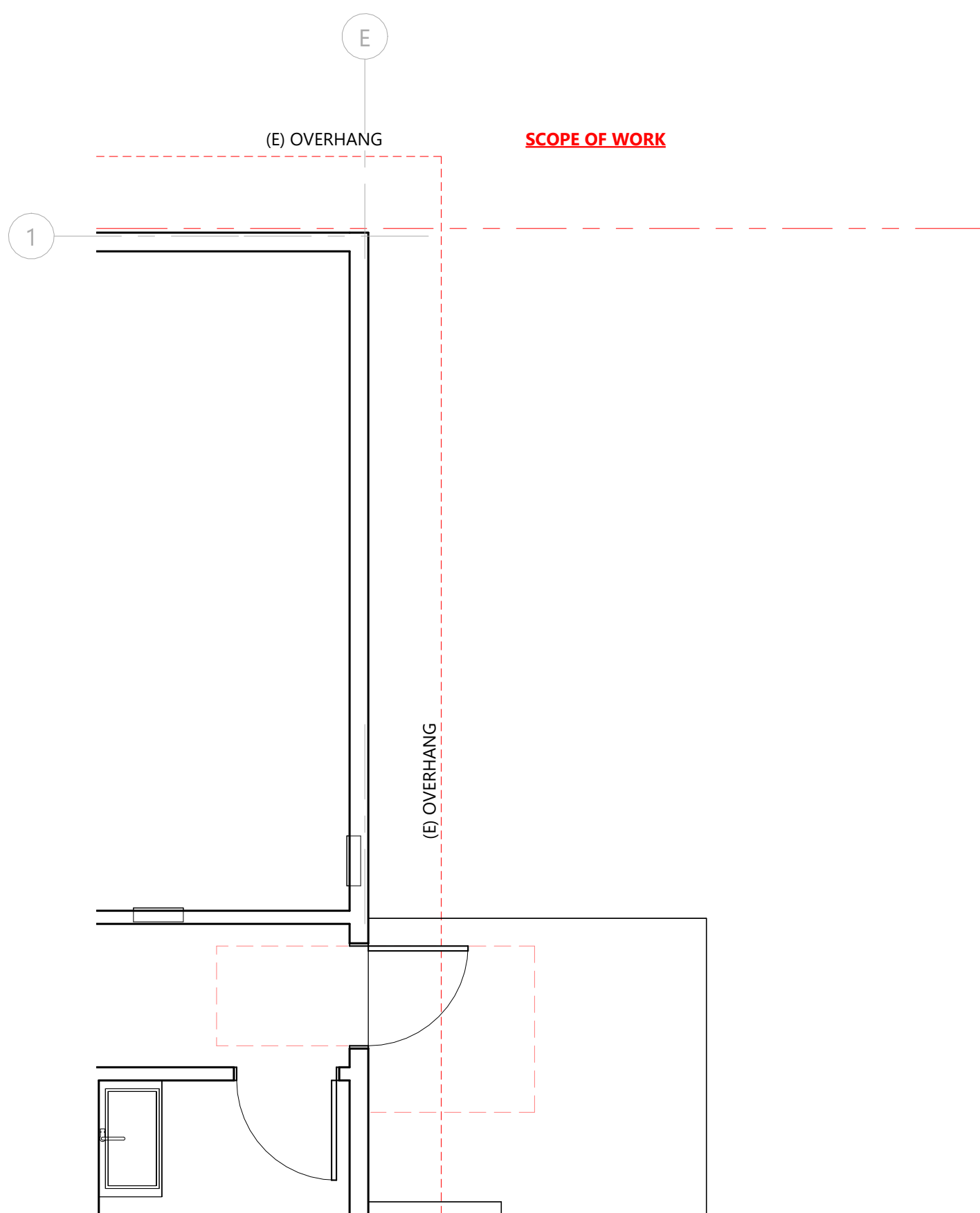
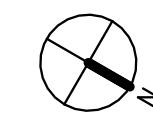


GRATON STATION

3120 ROSS ROAD
GRATON, CALIFORNIA 95444



1 EXISTING / DEMOLITION PLAN
1/4" = 1'-0"



2 CONTINUED EXISTING / DEMOLITION PLAN
1/4" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- NEW WALL (TYPE IA TYP. SEE 1/A6.1)
- NEW 2-HOUR FIRE RATED
- LOWER CEILING IN THIS AREA (MIN. 7' - 0")
- COMMON PATH OF TRAVEL
- ADA PATH OF TRAVEL
- NEW SEWER LINE, TBD
- OUTDOOR STEP LIGHT
- HVAC VENT: CEILING; FLOOR: SOFFIT/WALL
- CO2 DETECTOR, SMOKE DETECTOR, COMBO SMOKE / CO2 HARDWIRED PER CODE
- EGRESS WINDOW OPENING. SEE WINDOW SCHEDULE
- LIGHT/FAN COMBO; MECH VENT PER CMC 402.3
- ELEVATION CHANGE, 2" TYP

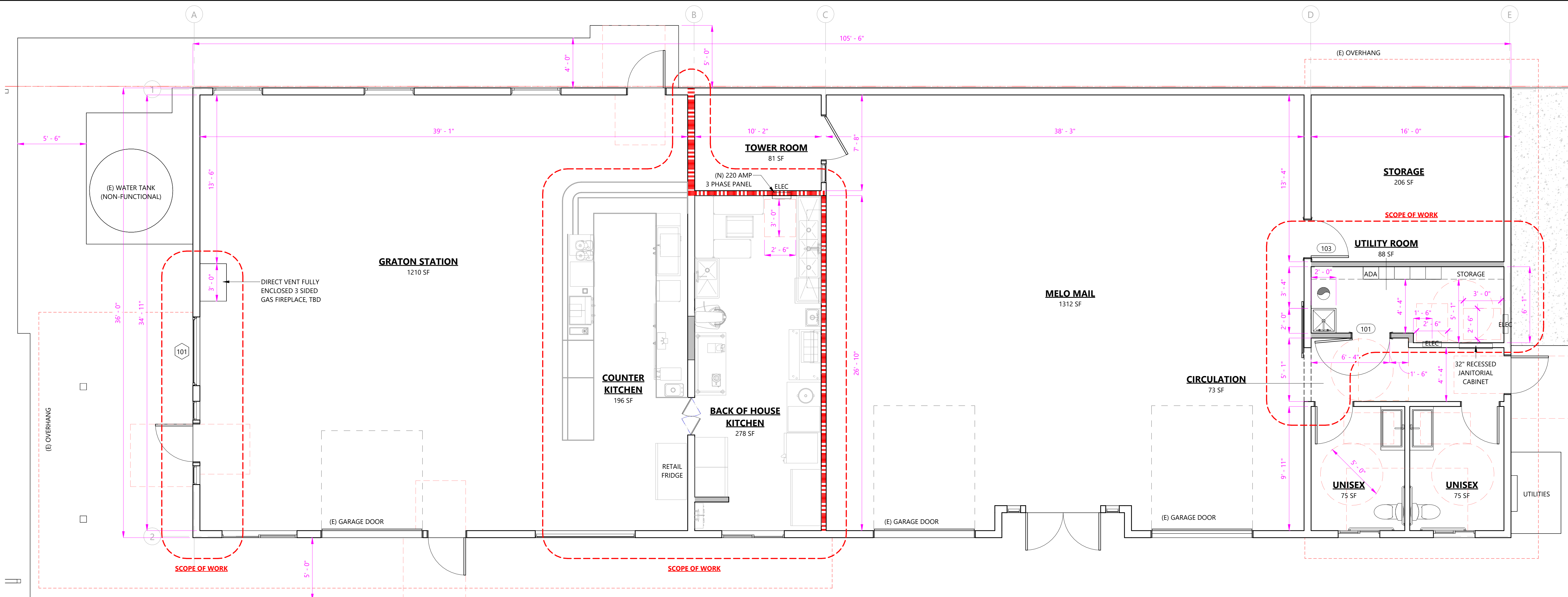
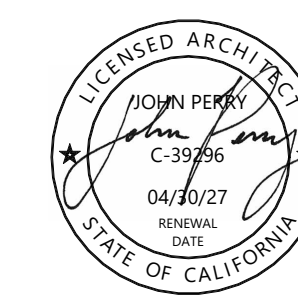
SHEET NOTES:

- REFER TO SHEET A-501 FOR DOORS & WINDOWS SCHEDULES
- REFER TO SHEET E-101 FOR ELECTRICAL & REFLECTED CEILING PLANS, TYP
- REFER TO SHEET A-001 FOR GENERAL INFORMATION & TYPICAL ARCHITECTURAL NOTES

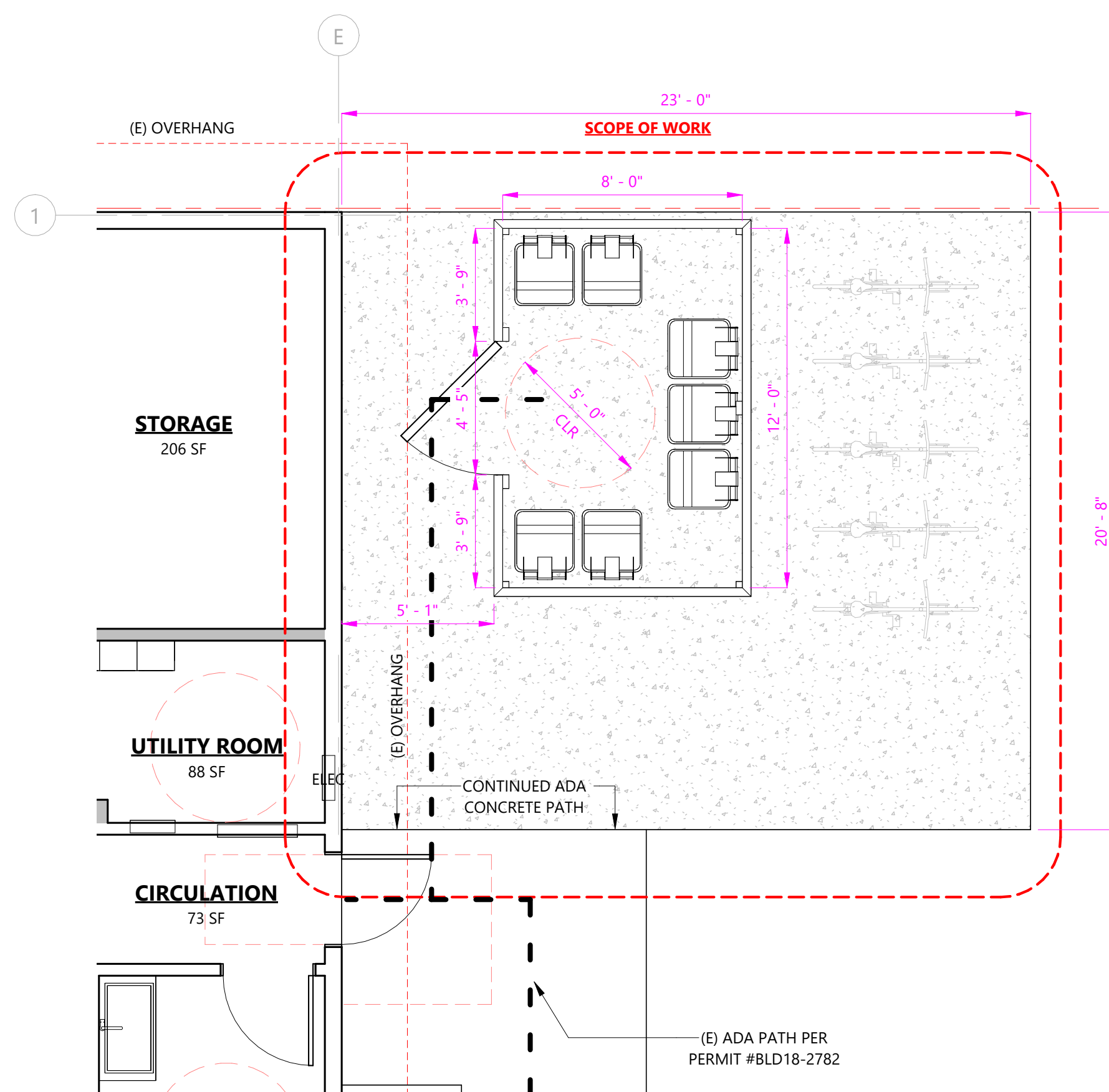
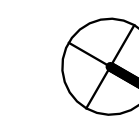
#	DESCRIPTION	DATE

Sheet Name:
EXISTING FLOOR PLAN

Owner: **MATT JORGENSEN**
Date Issued: **02-06-2026**
Project Number: **2521**
Sheet Number: **A-100**



1 NEW WORK PLAN
1/4" = 1'-0"



2 CONTINUED NEW WORK PLAN
1/4" = 1'-0"

WINDOW SCHEDULE					
MARK	OPERATION	WIDTH	HEIGHT	SILL HT	COMMENTS
101	FIXED	5' - 6"	4' - 0"	3' - 4"	

DOOR SCHEDULE							
NUM	OPERATION	WIDTH	HEIGHT	RATING	PANEL	FRAME	COMMENTS
88	BARN DOOR	4' - 4"	8' - 0"		WD	NA	
101	SWING	3' - 0"	7' - 0"		WD	HM	
103	SWING	3' - 0"	6' - 8"		WD	HM	

ACCESSIBLE PATH NOTES

- ACCESSIBLE ROUTE TO MAINTAIN MAX RUNNING SLOPE 5% (1:20) & MAX. CROSS SLOPE 2% (1:48) PER CBC 11B-403
- WALKING SURFACES SHALL BE FIRM, STABLE, SLIP-RESISTANT, & FREE OF VERTICAL CHANGES > 1/4". CHANGES BETWEEN 1/4" & 1/2" SHALL BE BEVELED 1:2. NO CHANGES > 1/2" PER CBC 11B-303
- PATH TO DRAIN PROPERLY WITH NO PONDING. SLOPES SHALL REMAIN WITHIN ADA / CBC LIMITS AFTER FINAL CONCRETE FINISHING
- PROTRUDING OBJECTS SHALL NOT EXTEND MORE THAN 4" INTO THE PATH BETWEEN 27" & 80" ABOVE WALKING SURFACE PER CBC 11B-307

TYPICAL ARCHITECTURAL NOTES

- A. DIMENSIONS SHOWN ARE TAKEN FROM FINISH FACE OF WALLS & THE CENTER OF DOORS & WINDOWS. ALL DIMENSIONS OF EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY CONTRACTOR(S) PRIOR TO WORK. DEVIATIONS FROM WHAT IS SHOWN ON THESE PLANS SHALL BE MADE KNOWN TO THE DESIGNER
- B. ALL WATERPROOFING AND FLASHING SHALL BE BY CONTRACTOR
- C. ALL WALLS ARE FRAMED WITH 2X4 STUDS UON. POCKET DOOR WALLS SHALL BE 2X6 TYP
- D. INSULATE ALL WALLS ENCLOSING CONDITIONED SPACE PER CBC 1203.3.2 AND TITLE 24 PART 6 (ENERGY CODE) SECTION 110.6 AND 140.3
- E. ALL EXTERIOR DOORS SHALL BE WEATHER-STRIPPED AND PROVIDED WITH THRESHOLDS TO MINIMIZE AIR INFILTRATION PER TITLE 24 PART 6
- F. EXTERIOR SURFACES SHALL DRAIN AWAY FROM THE BUILDING WITH A CONTINUOUS SLOPE OF 2% MIN
- G. ALL EXTERIOR PENETRATIONS THROUGH WALLS SHALL BE PROPERLY SEALED WITH CAULKING, BACKING ROD, OR APPROVED SEALANT TO PREVENT AIR AND WATER INFILTRATION
- H. PROVIDE ADEQUATE BLOCKING & BACKING IN WALLS FOR ALL WALL-MOUNTED FIXTURES, CASEWORK, GRAB BARS, HANDRAILS, SHELVING, & EQUIPMENT
- I. PROVIDE PROTECTION FOR CORNERS AND WALL SURFACES IN HIGH-TRAFFIC AREAS. CORNER GUARDS AND WALL PROTECTION SHALL BE PROVIDED WHERE INDICATED OR REQUIRED
- J. FIXTURES & EQUIPMENT INTENDED FOR INSTALLATION SHALL REMOVED FROM THEIR PACKAGING TO CONFIRM DIMENSIONS PRIOR TO MOUNTING SUPPORTS AND JUNCTION BOXES
- K. ALL PLUMBING SHALL BE UNDER A SEPARATE PERMIT. EXISTING LINES SHALL BE INVESTIGATED TO ENSURE CAPACITY FOR ADDITIONAL FIXTURES. REFER TO CAL GREEN FOR ADDITIONAL REQUIREMENTS
- L. PROVIDE HARDWIRED SMOKE & CARBON MONOXIDE DETECTORS, W/ BATTERY BACKUP WHERE POSSIBLE
- M. EXHAUST BATHROOM FAN A MIN OF 3FT AWAY FROM PROPERTY LINE & OPENINGS
- N. MECHANICAL SUBCONTRACTOR SHALL PROVIDE ALL DUCTWORK AND VENTING AS REQUIRED FOR HEATING AND VENTILATION SYSTEMS. CHASES & SOFFITS WHERE REQUIRED SHALL BE CONFIRMED W/ OWNER & / OR DESIGNER IN ADVANCE
- O. PROVIDE SIGNAGE FOR REQ'D BUILDING FEATURES INCLUDING ACCESSIBLE ROUTE, BATHROOMS, EXITS, & OCCUPANCY LOAD PER CBC CHAPTER 10 AND 11B
- P. FLOOR ELEVATION CHANGES GREATER THAN 1/4" SHALL BE RAMPED OR BEVELED PER CBC 11B-303.3 AND 11B-303.4

FLOOR PLAN LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- NEW WALL (TYPE IA TYP. SEE 1/A6.1)
- NEW 2-HOUR FIRE RATED
- LOWER CEILING IN THIS AREA (MIN. 7' - 0')
- COMMON PATH OF TRAVEL
- ADA PATH OF TRAVEL
- NEW SEWER LINE, TBD
- OUTDOOR STEP LIGHT
- HVAC VENT; CEILING; FLOOR; SOFFIT/WALL
- CO2 DETECTOR, SMOKE DETECTOR, COMBO SMOKE / CO2 HARDWIRED PER CODE
- EGRESS WINDOW OPENING. SEE WINDOW SCHEDULE
- LIGHT/FAN COMBO; MECH VENT PER CMC 402.3
- ELEVATION CHANGE, 2" TYP

SHEET NOTES:

- REFER TO SHEET A-501 FOR DOORS & WINDOWS SCHEDULES
- REFER TO SHEET E-101 FOR ELECTRICAL & REFLECTED CEILING PLANS, TYP
- REFER TO SHEET A-001 FOR GENERAL INFORMATION & TYPICAL ARCHITECTURAL NOTES

#	DESCRIPTION	DATE

Sheet Name:

PROPOSED FLOOR PLAN

Owner: **MATT JORGENSEN**

Date Issued: **02-06-2026**

Project Number: **2521**

Sheet Number

A-101

L-1 CONCEPTUAL LANDSCAPE PLAN

Project Summary

This conceptual landscape plan proposes low-impact, permeable, community-oriented site improvements on the south portion of APN 130-142-004 adjacent to the 3120 Ross Road building.

The design introduces family-friendly gathering space, and enhances ecological planting consistent with the project's public benefit mission. All improvements are located within existing disturbed areas. No removal of mature trees is proposed.

Site Improvements

1. Native pollinator planted areas

- *See planting plan below*

2. Circular Rock & Herb Garden

- 8–10 ft diameter
- Low stacked stone seat wall, max 18 in height
- Interior native and culinary herb planting

3. Flagstone Patio

- Approx. 150–250 sq ft
- Natural stone set in permeable base

4. Bicycle Parking

- Code-compliant inverted U racks

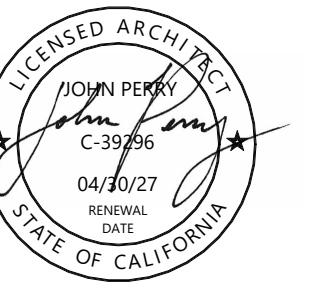
Planting Plan (Drought-Tolerant / Native Focus)

Plant palette emphasizes California native and Mediterranean climate-adapted species suitable for West Sonoma County. Final quantities to be confirmed during construction drawings.

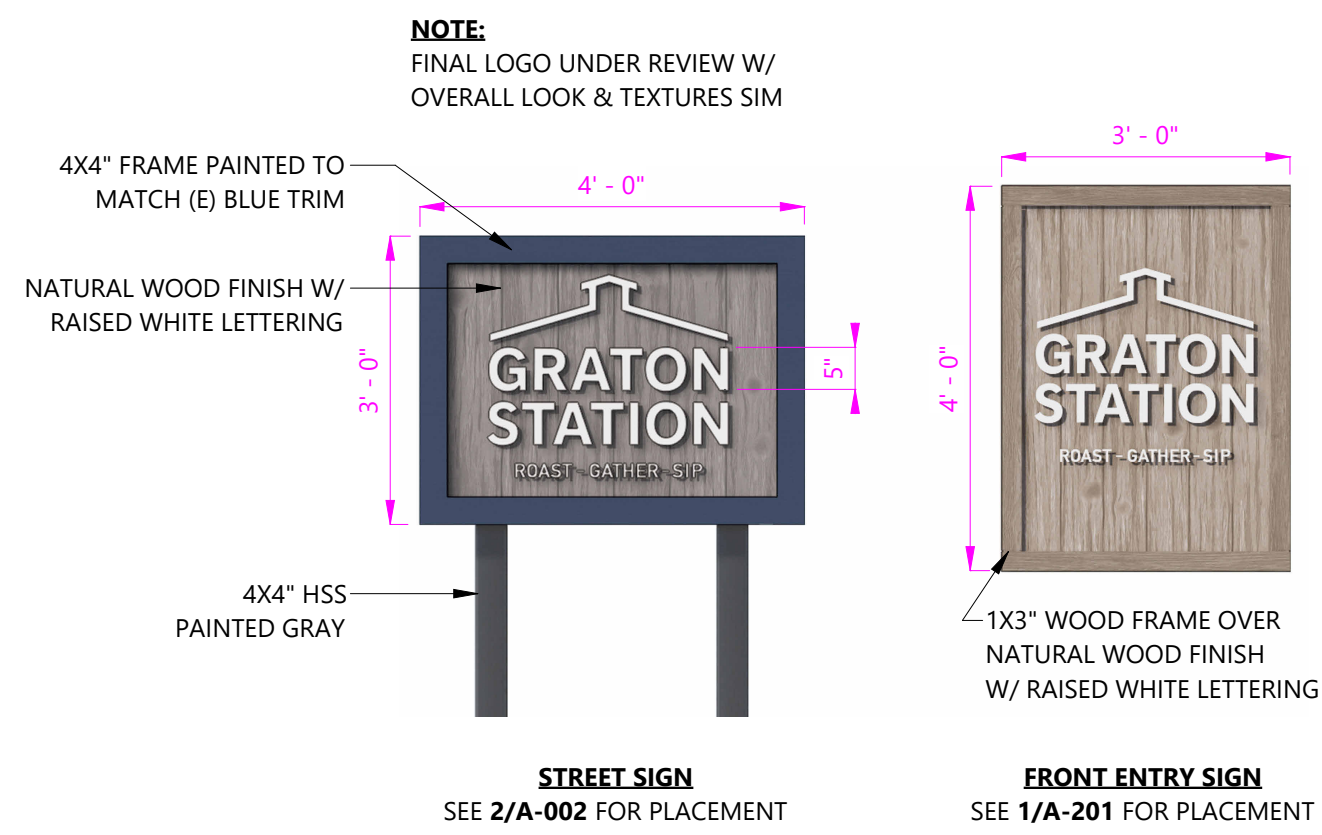
Trees (existing preserved; no new large canopy trees proposed)

- Existing mature tree retained and protected

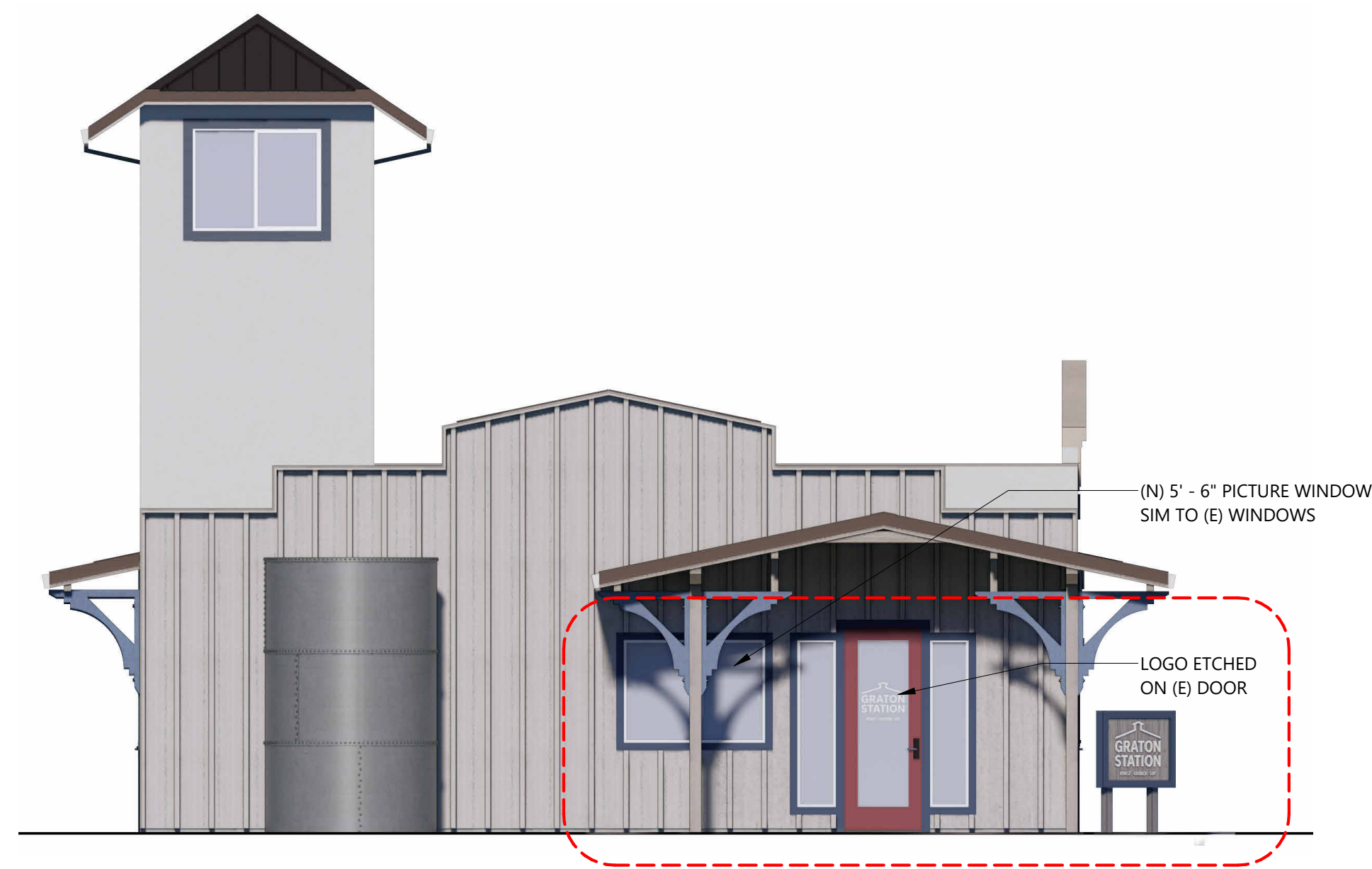
Small Shrubs / Perennials



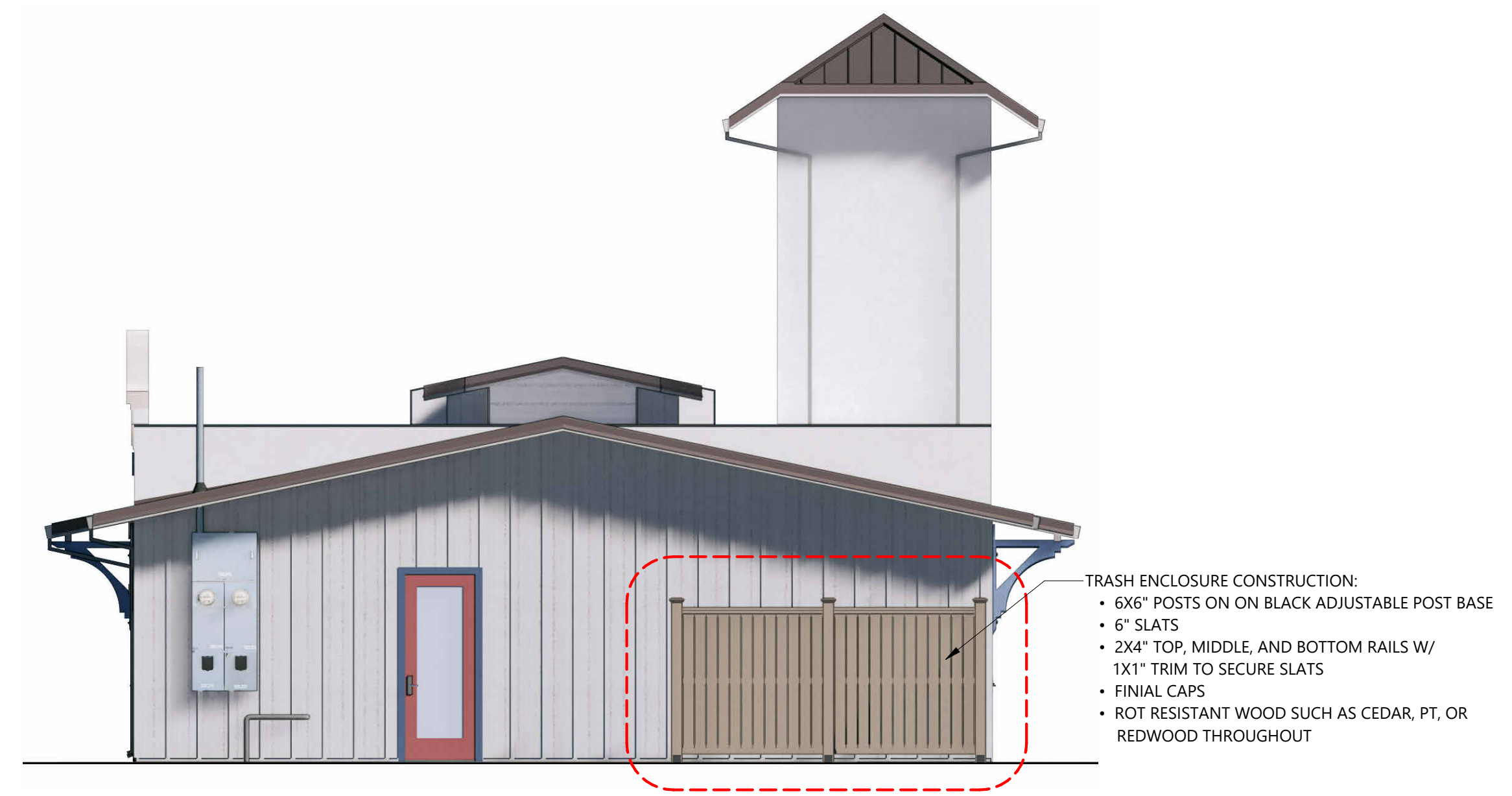
1 PROPOSED EAST ELEVATION
3/16" = 1'-0"



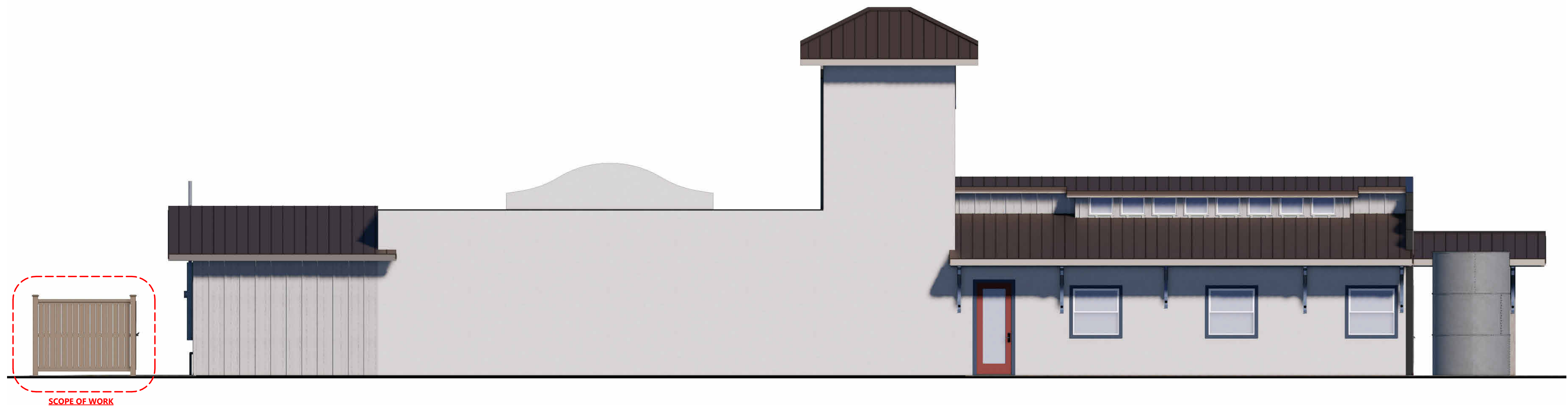
5 PROPOSED SIGNAGE
1/2" = 1'-0"



2 PROPOSED SOUTH ELEVATION
3/16" = 1'-0"



4 PROPOSED NORTH ELEVATION
3/16" = 1'-0"



3 PROPOSED WEST ELEVATION
3/16" = 1'-0"

GRATON STATION
3120 ROSS ROAD
GRATON, CALIFORNIA 95444

#	DESCRIPTION	DATE
---	-------------	------

Sheet Name:
PROPOSED
ELEVATIONS &
SIGNAGE

Owner: MATT JORGENSEN
Date Issued: 02-06-2026
Project Number: 2521
Sheet Number:

A-201

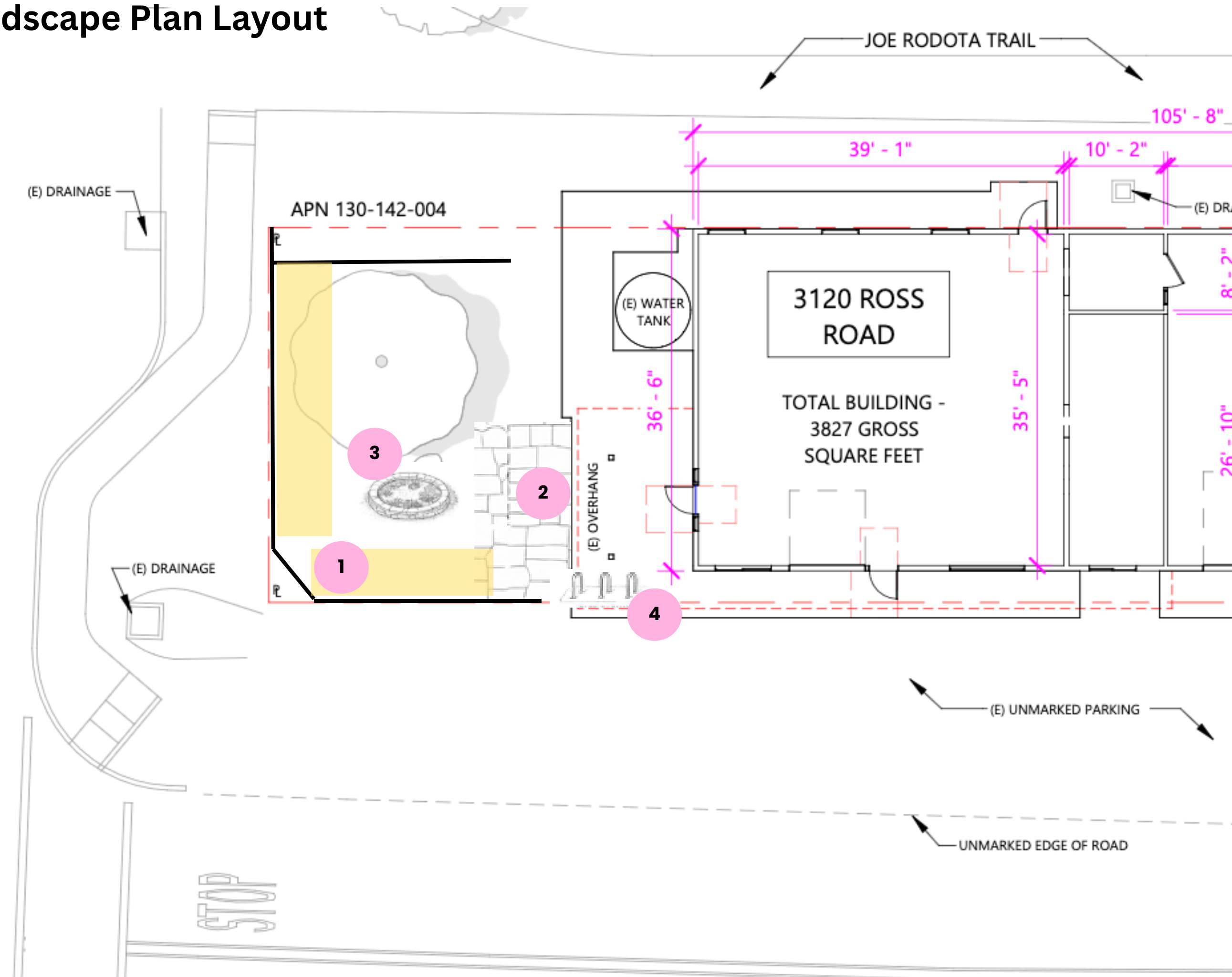
Graton Station Preliminary Landscape Plan Layout

Legend

1. Native pollinator planted areas
2. Flagstone patio
3. Herb spiral and low stone decorative circle
4. Bicycle parking

SEE ENCLOSED L-1 GRATON STATION CONCEPTUAL LANDSCAPE PLAN FOR DETAILS

GRATON ROAD



- *Salvia clevelandii* (Cleveland sage)
- *Salvia spathacea* (Hummingbird sage)
- *Achillea millefolium* (California yarrow)
- *Eriogonum fasciculatum* (California buckwheat)
- *Lavandula angustifolia* (Lavender)
- *Rosmarinus officinalis* (Rosemary)

Ornamental Grasses

- *Muhlenbergia rigens* (Deer grass)
- *Festuca californica* (California fescue)

Edible / Herb Garden (within circular feature)

- *Thymus vulgaris* (Thyme)
- *Origanum vulgare* (Oregano)
- *Mentha* spp. (Mint, contained)
- *Allium schoenoprasum* (Chives)
- *Artemisia californica* (California sagebrush)

All planting:

- Low-water once established
- Temporary drip irrigation for establishment only
- Mulched with natural shredded wood or leaf mulch

Impervious Surface + Drainage

- New surfaces are permeable (flagstone on permeable base)
- No significant increase in impervious coverage
- Existing drainage structures remain unchanged
- No major grading proposed

Lighting

No new freestanding lighting proposed under this landscape scope. Any café-related lighting will be addressed under building permits.

Operational Use

No permanent amplified sound infrastructure included in landscape scope.

L-1 CONCEPTUAL LANDSCAPE PLAN

Project Summary

This conceptual landscape plan proposes low-impact, permeable, community-oriented site improvements on the south portion of APN 130-142-004 adjacent to the 3120 Ross Road building.

The design introduces family-friendly gathering space, and enhances ecological planting consistent with the project's public benefit mission. All improvements are located within existing disturbed areas. No removal of trees is proposed.

Site Improvements

1. Native pollinator planted areas

- *See planting plan below*

2. Circular Rock & Herb Garden

- 8–10 ft diameter
- Low stacked stone seat wall, max 18 in height
- Interior native and culinary herb planting

3. Flagstone Patio

- Approx. 150–250 sq ft
- Natural stone set in permeable base

4. Bicycle Parking

- Code-compliant inverted U racks

Planting Plan (Drought-Tolerant / Native Focus)

Plant palette emphasizes California native and Mediterranean climate-adapted species suitable for West Sonoma County. Final quantities to be confirmed during construction drawings.

Trees (existing preserved; no new large canopy trees proposed)

- Existing mature tree retained and protected

Small Shrubs / Perennials

- *Salvia clevelandii* (Cleveland sage)
- *Salvia spathacea* (Hummingbird sage)
- *Achillea millefolium* (California yarrow)
- *Eriogonum fasciculatum* (California buckwheat)
- *Lavandula angustifolia* (Lavender)
- *Rosmarinus officinalis* (Rosemary)

Ornamental Grasses

- *Muhlenbergia rigens* (Deer grass)
- *Festuca californica* (California fescue)

Edible / Herb Garden (within planters or circular feature)

- *Thymus vulgaris* (Thyme)
- *Origanum vulgare* (Oregano)
- *Mentha* spp. (Mint, contained)
- *Allium schoenoprasum* (Chives)
- *Artemisia californica* (California sagebrush)

All planting:

- Low-water once established
- Temporary drip irrigation for establishment only
- Mulched with natural shredded wood or leaf mulch

Irrigation

The proposed landscape is designed as a low-water, drought-tolerant planting palette appropriate for West Sonoma County's Mediterranean climate.

A temporary drip irrigation system will be installed for plant establishment during the first 1–2 growing seasons. The system will consist of low-flow drip emitters or in-line drip tubing serving shrub and perennial planting areas only. No overhead spray irrigation is proposed.

After establishment, irrigation will be significantly reduced or discontinued except during extended drought conditions. Planting areas will be mulched to retain soil moisture and suppress weeds.

The irrigation system, if required to remain, will be zoned for efficiency and equipped with a weather-based or smart controller to minimize water use.

The project prioritizes water conservation and intends to comply with applicable Model Water Efficient Landscape Ordinance (MWELO) requirements, as applicable to the scope of work.

Impervious Surface + Drainage

- New surfaces are permeable (flagstone on permeable base)
- No significant increase in impervious coverage
- Existing drainage structures remain unchanged
- No major grading proposed

Lighting

No new freestanding lighting proposed under this landscape scope. Any café-related lighting will be addressed under building permits.

Fencing

A 5-foot-tall decorative perimeter fence is proposed along the southern property perimeter to provide safety and visual separation from car traffic. Fence design consists of some sections of horizontal wood slat panels and some sections of galvanized hog wire within wood framing. Wood posts and rails will be natural or stained wood consistent with the site's material palette.

The pattern maintains visual permeability while providing defined space, safety for children, and subtle screening. Fence height will not exceed 5 feet.

No solid masonry walls are proposed. All fencing will comply with applicable zoning and visibility requirements.

Operational Use

No permanent amplified sound infrastructure included in landscape scope.

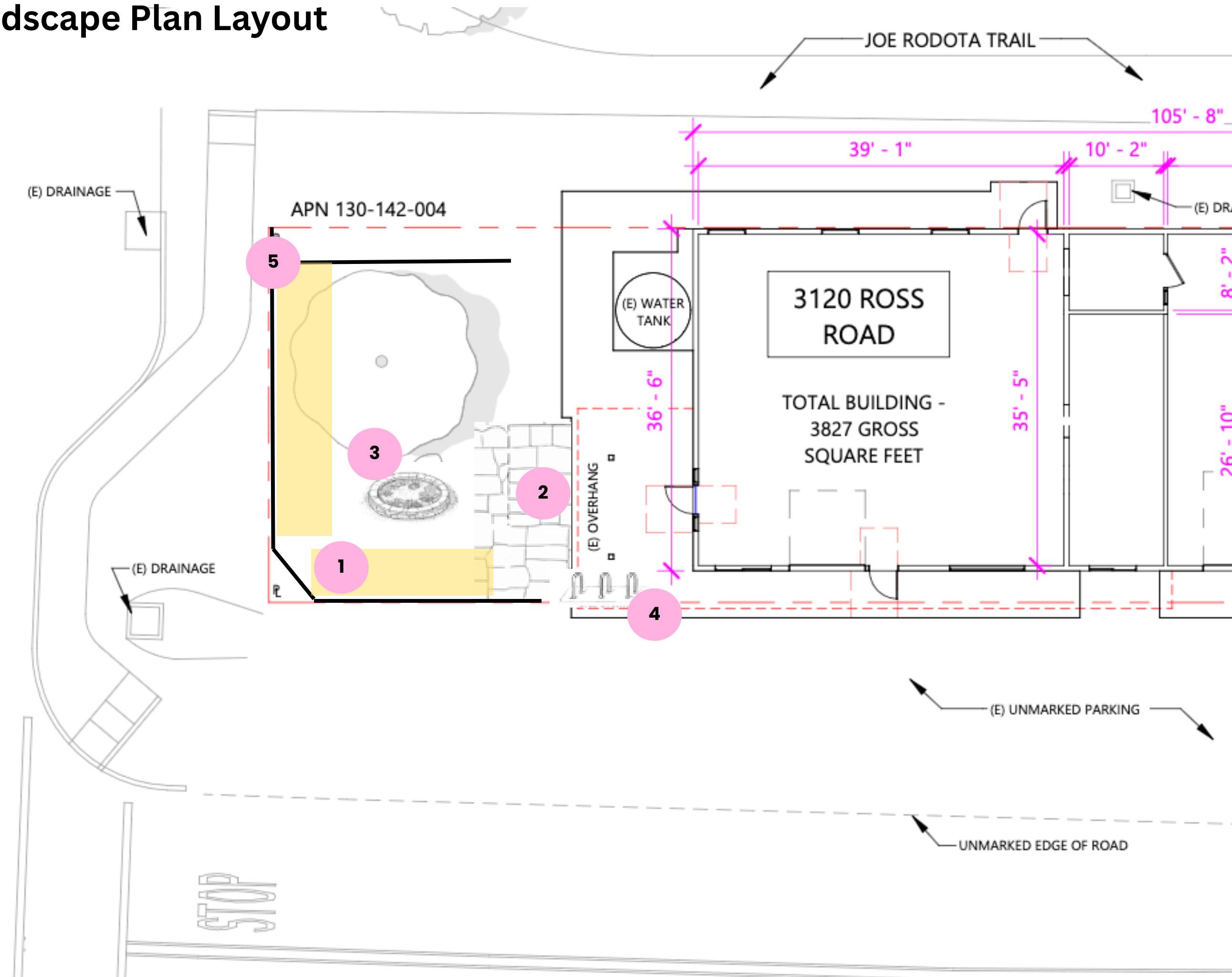
Graton Station Preliminary Landscape Plan Layout

Legend

1. Native pollinator planted areas
2. Flagstone patio
3. Herb spiral and low stone decorative circle
4. Bicycle parking
5. Perimeter fence

SEE ENCLOSED L-1 GRATON STATION CONCEPTUAL LANDSCAPE PLAN FOR DETAILS

GRATON ROAD



GRATON COMMUNITY SERVICES DISTRICT

250 ROSS LANE • MAIL: PO BOX 534, GRATON, CALIFORNIA 95444 • 707/823-1542 • FAX 707/823-3713



April 28, 2026

Alisa Rosetti
Permit Sonoma

RE: Will Serve Letter for 3120 Ross Road, Graton, CA 95444 – APN: 130-142-004 & 130-142-001

Ms. Rosetti,

As part of the permit application for the Graton Station café project (~1900 square feet) located at 3120 Ross Road, Permit Sonoma (PRMD) requires written confirmation from the Graton Community Services District that there is adequate capacity to convey and treat wastewater discharged from this site.

The District has evaluated the capacity of the sewer main to which this property is connected, as well as reviewed the proposed use of the site as a café and community gathering space, and has determined that the system has adequate capacity. The District's treatment plant, located at 250 Ross Lane, is currently operating at approximately 55 percent of its average dry weather capacity.

Based on this evaluation, the Graton Community Services District confirms that it has sufficient wastewater collection and treatment capacity to serve the proposed development at 3120 Ross Road.

All required sewer connection, capacity and annual sewer use fees shall be paid prior to authorization to discharge.

Respectfully,

A handwritten signature in blue ink that reads "Chad Davisson". The signature is fluid and cursive, with the first name being more prominent.

Chad Davisson
Management Consultant
Graton Community Services District